

ARCHITECTURAL REVIEW BOARD HEARING

The following application will be reviewed by the City of Pacific Grove Architectural Review Board at its meeting on **TUESDAY, April 13, 2010**. The meeting begins at **6:00 p.m.** in the ***Pacific Grove City Hall Council Chambers, Pacific Grove Civic Center, 300 Forest Avenue.***

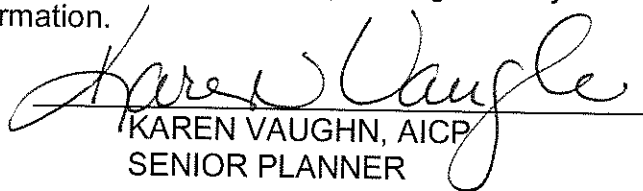
LOCATION: 149 15th Street

APPLICANT: Jeff Becom, on behalf of Steve and Diane Randesi

APPLICATION: Architectural Approval Application No. 3940-10 (amending AA No. 3728-07)

PROJECT DESCRIPTION: Architectural Approval No. 3728-07 was approved on September 23, 2008. The approved plans called for a proposed remodel and second-story addition to an existing single-family dwelling. Design Change request is to fully demolish the existing structure and build a new structure to match the previously designed and approved plans. (CEQA Status: Class 2 Categorical Exemption).

The public is invited to submit written comments and to speak at the meeting. The plans are available for review at the Community Development Department, 300 Forest Avenue, from 8:00 a.m. to 12:00 p.m., Monday through Friday. Please phone (831) 648-3190 for further information.


 KAREN VAUGHN, AICP
 SENIOR PLANNER

April 5, 2010

The Architectural Review Board will also meet in a plan and site review session on **Tuesday, April 13, 2010, at 12:00 p.m.** in the City Manager's Conference Room at City Hall, 300 Forest Avenue, Pacific Grove, CA. The limited purposes of this session are (1) to visit the site of the projects and (2) allow staff to respond to Board Member's questions regarding the factual aspects of the applications. The plan and site review is an open meeting. Members of the public may attend.

Note: The City of Pacific Grove does not discriminate against persons with disabilities. The Pacific Grove City Hall Council Chambers and Conference Room of the Community Development Department are accessible facilities. A limited number of devices are available to assist those who are hearing impaired. If you would like to use one of these devices, please contact the Community Development Department at (831) 648-3190.

This Notice May Be Removed Five (5) Days after Final Approval.

DESIGN CHANGE

Amendment to
AA 3728-07

RECEIVED

**CITY OF PACIFIC GROVE
APPLICATION FOR ARCHITECTURAL APPROVAL**
(Municipal Code Chapter 23.73)

FEB 25 2010

COMMUNITY DEPT.

CDD Use only
A.A. APPLICATION NO.
3940-10

FEE \$375 + 15% LRP fee =
ACCOUNT NO. 01-4402

\$431.25

Accepted for submittal by: _____
[CDD Staff person]

Project Location 149 15th St., P.G. APN 006-177-001-000

Brief Description of Project Minor changes to ARB-approved plans for rebuilding and expanding a S.F.R.

Applicant Jeffrey Becom Design

Applicant's Address PO Box 534
Pacific Grove CA 93950

SEE ATTACHED SHEET!

NEW! Applicant's E-mail Address: jeffreybecom@comcast.net Check if you prefer contact by e-mail

Applicant's Daytime Phone No. 831-224-6110 Cell # same

Property Owner Steve and Diane Randesi

Property Owner's Address 1235 Lawrie Ave.
San Jose, CA 95125

Property Owner's Phone No. 408-394-6756

Owner's E-mail Address: srandesi@yahoo.com & drandesi@sprynet.com

I, the undersigned, under penalty of perjury, depose and say that I am the applicant for this request, that the owner of the property approves this application and that all statements are true and correct.

FEB 25, 2010
Date

[Signature]
Signature of Applicant

NOTE TO APPLICANT: The filing fee and materials related to the project must accompany this application. Please see attached submittal requirements for your project.

Items 1-8 on the submittal requirements checklist are minimum requirements for all submittals, unless noted as not applicable to the project. If applicable items are not included in your initial application, you may receive a notice of incomplete application within 30-days of your submittal.

*Applicant check here if you prefer to be contacted by e-mail

The four minor changes to the ARB-approved plans for this project are:

(a) A change in the Project Scope from “additions and alterations to a single family home” to a “demolition and full rebuild in the original footprint.”

This change was made after the project received ARB approval, because initial construction bids were showing an up-to-\$40,000 additional cost to retain hidden structural portions of the existing home as opposed to going with all new construction. This change in description does not change the exterior of the new home in any way since the original ARB approval.

(b) Changes to Sheet A-3 (Existing/Demolition Plan) from Sheet A-2 (Existing/Demolition Plan) in the ARB-approved plan set.

These changes reflect the difference between saving a portion of the structure of the existing home as opposed to all new construction. As in (a) just above, these changes result in no visible exterior changes to the new home from the original ARB-approved plans.

(c) Changes to the Basement/Garage level plan (Sheet A-4).

These changes also reflect the difference between saving a portion of the existing foundations as opposed to all new foundations. An additional change seen on Sheet A-4 is a change in the width of the Side Porch/Stairway in order to allow for the minimum 3'-0" required clearance on this stairway, as determined by the Building Department Plan Checker.

(d) Changes to window configuration on the north elevation, Sheet A-7.

While modifying the structural plans, it was decided to modify the layout of the Master Bathroom. This resulted in some small changes to the layout of the upper level gable windows.

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FEB 25 2010

COMMUNITY DEV. DEPT.

B**E****C****O****M**

3 November 2009

Sarah Hardgrave, Senior Planner
Planning Division
Community Development Office
300 Forest Avenue
Pacific Grove, CA 93950

**RE: 149 Fifteenth Street, Pacific Grove, Ca 93950
Lot 1 Block 37 Tract PG Retreat
APN#006-177-001-000**

Dear Sarah,

I recently received notice that I must appear before the Architectural Review Board again on behalf of my house design clients, Steve and Diane Randesi. This is necessary because their ARB-approved plans state that the project will be retaining a number of the structural elements of the existing house. However, after receiving Final Approval from ARB and as contractor bids came in, I realized that keeping any portion of the existing house was irrationally expensive.

Since keeping or not keeping the structural elements of the existing house would result in no changes to the final appearance of the new house exterior, I thought I was told that I would not need to reappear before the ARB about this. However, this was many months ago. In between, the CDD made some clarifications in their policies that now necessitate my reappearance before the ARB.

I'm writing to ask: **May I please schedule this reappearance before the ARB—and likewise, may I delay paying the additional fee of \$431.25—until just before the Randesi's pull their building permit?**

Like all of us, my clients are trying to keep their expenses low right now. They are currently in the process of requesting a six-month extension on the pulling of (and paying for) their building permit. When their

extension is granted (I'm told this is pretty much automatic), they will not have to pull their building permit and pay the permit fees until July 13, 2010 (instead of January 13, 2010). Postponing the \$431.25 fee payment would also be appreciated.

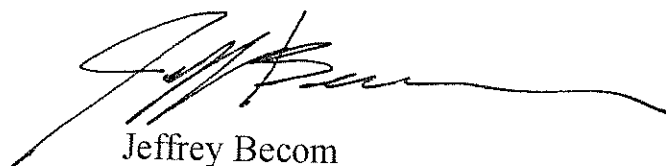
Having this additional time will also allow me to make certain that no other changes to the ARB-approved plans are made necessary because of contractors' continuing suggestions of ways they can lower their bids to fit within my clients' budget.

May I also please confirm: **Am I correct that my reappearance before the ARB, whenever this takes place, does not require any new drawings?**

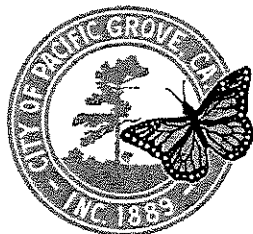
As I understand it, I simply need to fill out the Design Change form you provided, pay the fee, hand over copies of the plans that I've already given to the CDD for the plan check process, and then attend the meeting that this agenda item is assigned to, in order to explain the changes I made to the ARB-approved plans to the ARB members.

I'll look forward to your replies in writing at your earliest convenience.

Thank you very much.



Jeffrey Becom
Becom Design



City of Pacific Grove
COMMUNITY DEVELOPMENT DEPARTMENT
 300 Forest Avenue, Pacific Grove CA 93950
www.ci.pg.ca.us
 (831) 648-3190

RECEIVED

FEB 25 2010

COMMUNITY DEV. DEPT.

MEMORANDUM

TO: Jeffrey Becom
 FROM: Sarah Hardgrave, Senior Planner
 DATE: December 15, 2009
 SUBJECT: 149 15th Street, Pacific Grove

This memorandum is in follow up to correspondence you sent on November 3, 2009, in response to my previous plan check comments (attached).

The Building Department has granted you an extension, per your request, on your building permit submittal, which is still in the plan check process. You have until July 13, 2010 to address all of the plan check comments and pull the building permit (also attached).

In response to your questions regarding the required design change approval from the ARB, you can delay filing for the design change, now that the Building Permit has been extended to July 13, 2010. However, you have to pay the \$431,25 fee for the design change at the time you submit it and prior to going before ARB; it cannot be delayed until the time you pay for the Building Permit to be issued. Please keep in mind that architectural approval fees, including a design change, are set to increase substantially on March 1, 2010.

You need to submit two sets of the revised plans for the ARB with the design change application. These can and should be the same plan sets submitted to the Building Dept., but we need two additional sets for the ARB hearing and the property file record, in addition to the Building Permit plan sets you have already submitted.

If you have any questions with regard to this memo, please contact me, Sarah Hardgrave, Senior Planner, at 831-648-3189 or shardgrave@ci.pg.ca.us.



JEFFREY BECOM DESIGN
 115 14TH ST, PACIFIC GROVE, CA 93950
 Tel: 831.373.0116 jeffreybecom@redshiff.com

DATE
 8-2-09
 8-4-09
 5-10-10

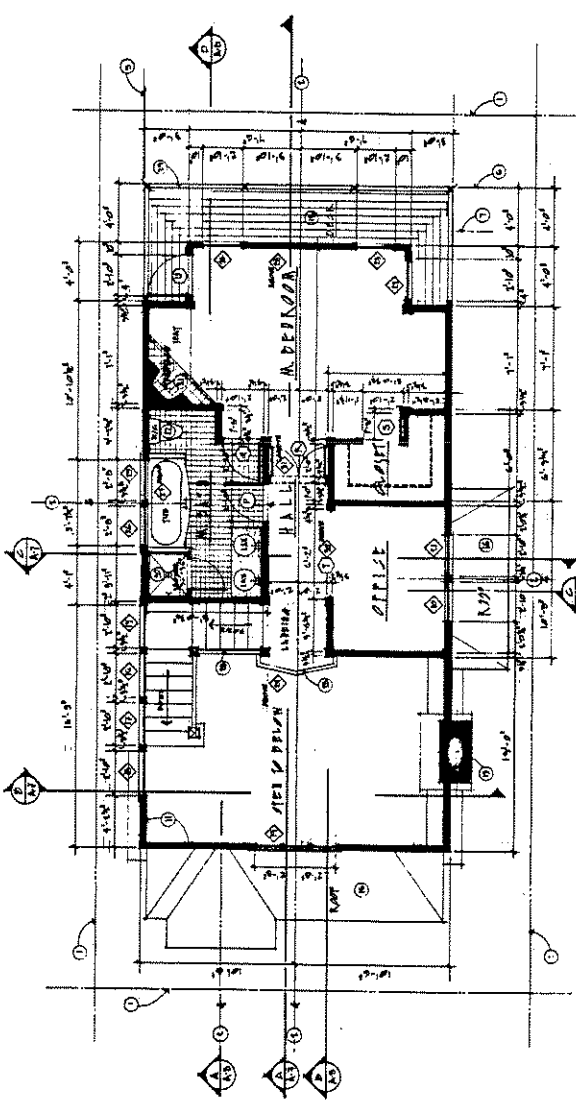
NEW CONSTRUCTION FOR
 RANDESI RESIDENCE
 1515 FIFTEENTH ST, PACIFIC GROVE, CA 93950

SHEET
 A-5C
 LOWER & UPPER
 FLOOR PLANS

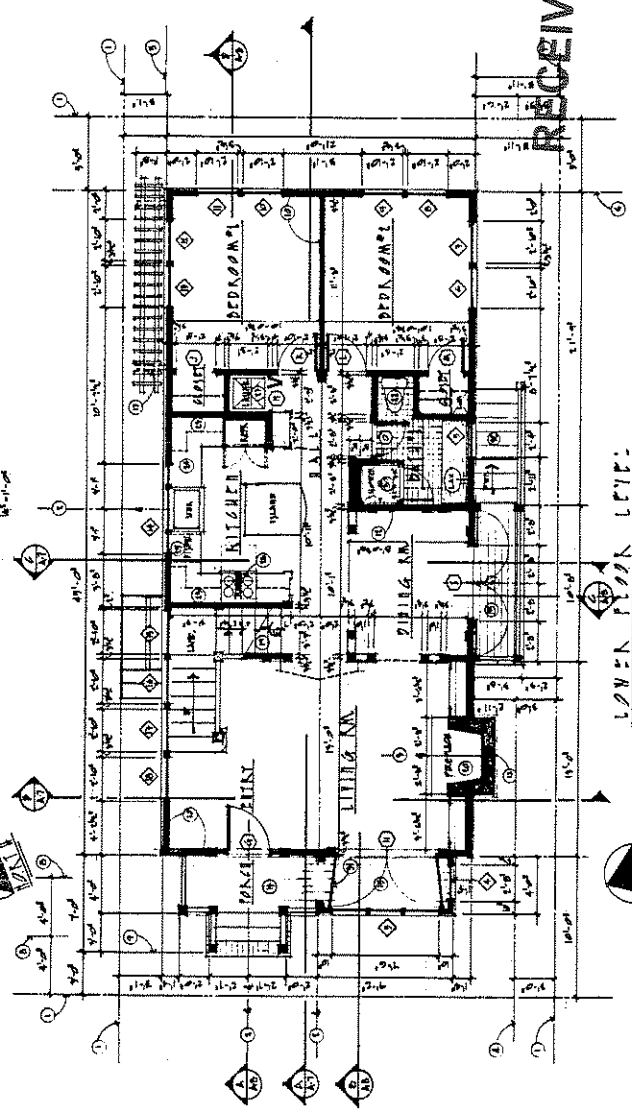
RECEIVED

APR 2 2010

COMMUNITY DEV. DEPT.



UPPER FLOOR LEVEL



LOWER FLOOR LEVEL

BLOCK PLAN KEY

- The items described on this key table apply to this entire set.
- 1 Property Line
 - 2 Center Line of New Through Walkway / Door Opening
 - 3 Center Line of New Through Room
 - 4 Line of 3'-0" New Vinyl Siding (South Side)
 - 5 Line of 3'-0" New Vinyl Siding (North Side)
 - 6 Line of 3'-0" New Vinyl Siding at First Floor
 - 7 Line of 3'-0" New Vinyl Siding at Second Floor
 - 8 Line of 3'-0" New Vinyl Siding at 2nd Floor
 - 9 Line of 3'-0" New Vinyl Siding at 2nd Floor
 - 10 New Mail to be Built in Original Location
 - 11 Roof of New Porch Landing - See Sheet A-5C, Detail "A"
 - 12 New Mail
 - 13 New Brick Hopper Chimney to Match Style of Original - See Sheet A-5C, Detail "A"
 - 14 New Concrete Front Porch - See Sheet A-5C, Detail "A"
 - 15 New Concrete Side Porch Landing - See Sheet A-5C, Detail "A"
 - 16 Roof of Front Porch Landing - See Sheet A-5C, Detail "A"
 - 17 Redwood Deck - See Sheet A-5C, Detail "A"
 - 18 PVC Decking Over Existing Deck - See Sheet A-5C, Detail "A"
 - 19 Deck to Enclosure / Garage - See Sheet A-5C, Detail "A"
 - 20 Gate Posters to Enclosure - See Sheet A-5C, Detail "A"
 - 21 Deck Over Glass Pavilion - See Sheet A-5C, Detail "A"
 - 22 Ultra-White Siding with 20" Mail Clear Space
 - 23 2" Deep Upper Mail Cabinet
 - 24 2" Deep Lower Cabinet
 - 25 Ultra-White Siding (Siding)
 - 26 20" Ramps with Vinyl Hand / Microban Above
 - 27 Ultra-White Siding Laundry Walkway / Porch
 - 28 Open Wood Ceiling 3'-0" Above Front Porch - See Sheet A-5C
 - 29 Open Wood Ceiling 3'-0" Above Front Porch - See Sheet A-5C
 - 30 Shower with Temporal Glass Enclosure 7'1" High
 - 31 Pit of Front Door to Living Room
 - 32 Pit of Front Door to Living Room
 - 33 New Wood Decking to Enclosure - See Sheet A-5C, Detail "A"

SYMBOLS

- DETAIL MARKER
- SHEET MARKER
- SECTION
- INTERIOR ELEVATION
- DOOR
- WINDOW
- NEW ROOF FRAME WALL
- NEW ROOF FRAME WALL - to replace original
- NEW REINFORCED CONCRETE MASONRY WALL
- NEW REINFORCED CONCRETE MASONRY WALL - to replace original
- EDGE OF STRUCTURE ABOVE / BELOW / BEYOND
- PROPERTY LINE
- LINE OF SET-BACK
- CENTER LINE

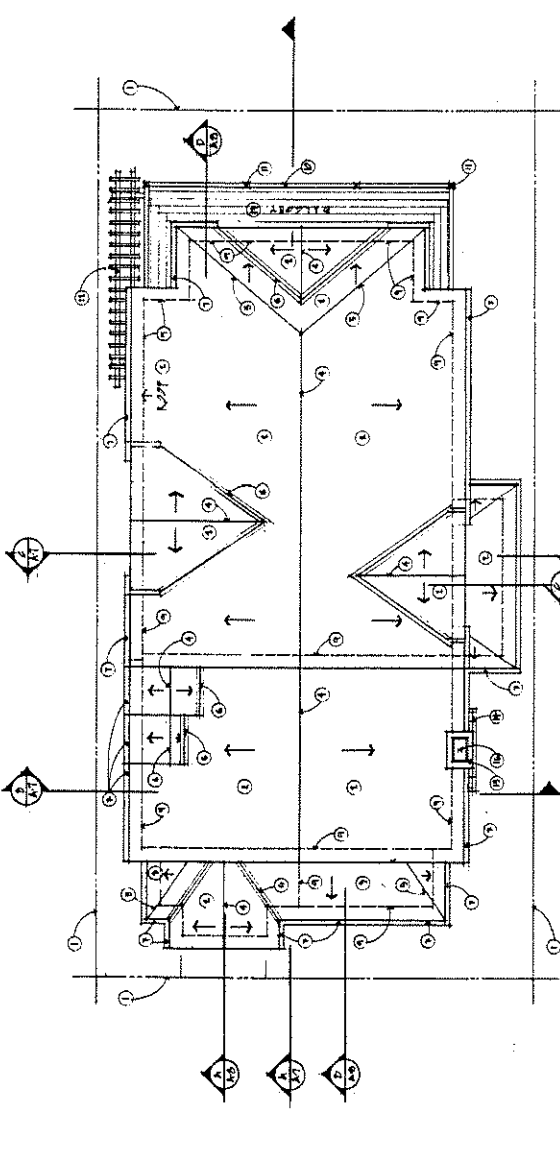


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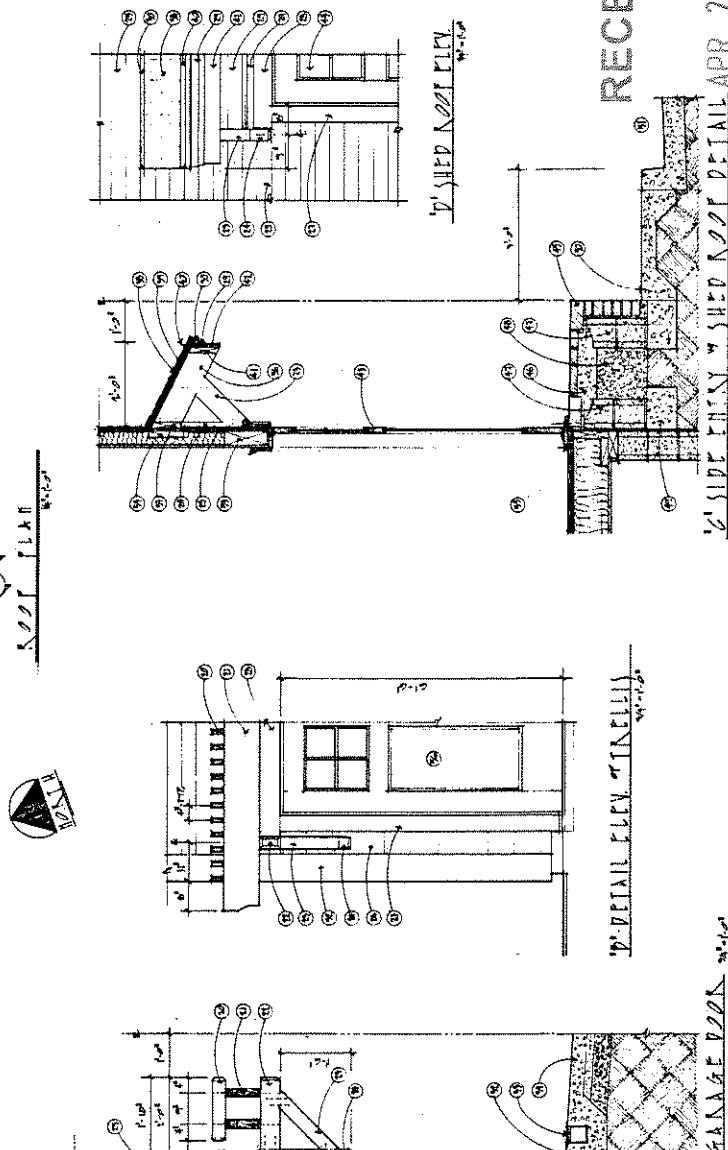
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 11.15.01
 9.10.05
 8.11.08

RANDESI RESIDENCE
 NEW CONSTRUCTION FOR
 149 FIFTEENTH ST, PACIFIC GROVE, CA 93950

RECEIVED
 Agenda Item 8c
 SHEET
 A-6
 ROOF PLAN



- ROOF PLAN NOTES**
- See information regarding pre-construction preparation in the General Notes.
 1. Property Line
 2. Laminated Compression Single Beating with 3/8" Rod Slope (Typical LULU)
 3. Laminated Compression Single Beating with 3/8" Rod Slope
 4. Line of Ridge
 5. Line of Hip
 6. Line of Valley
 7. 3" Copper Clutter
 8. 2" x 2" Copper Downspout
 9. Line of Nail Plate (Nail)
 10. 2" x 4" Nail Ceiling—See Sheet A-10, Detail "1"
 11. Rafter Support Frame—See Sheet A-10, Detail "1"
 12. Rafter Truss (Nail)—See Sheet A-10, Detail "1"
 13. PVC Beating over Insulation
 14. Nail Plate (Nail) Ceiling to match style of original—See Sheet A-10, Detail "1"
 15. Copper Plate Straps—See Sheet A-10, Detail "1"
 16. Sheet Iron Floor—See Sheet A-10, Detail "1"
 17. Front Porch Roof—See Sheet A-10, Detail "1"
 18. Front Steps Roof—See Sheet A-10, Detail "1"
 19. 2" x 4" Nail Ceiling with Cholesterol Stud
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- ROOF PLAN KEY**
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 ROOF PLAN

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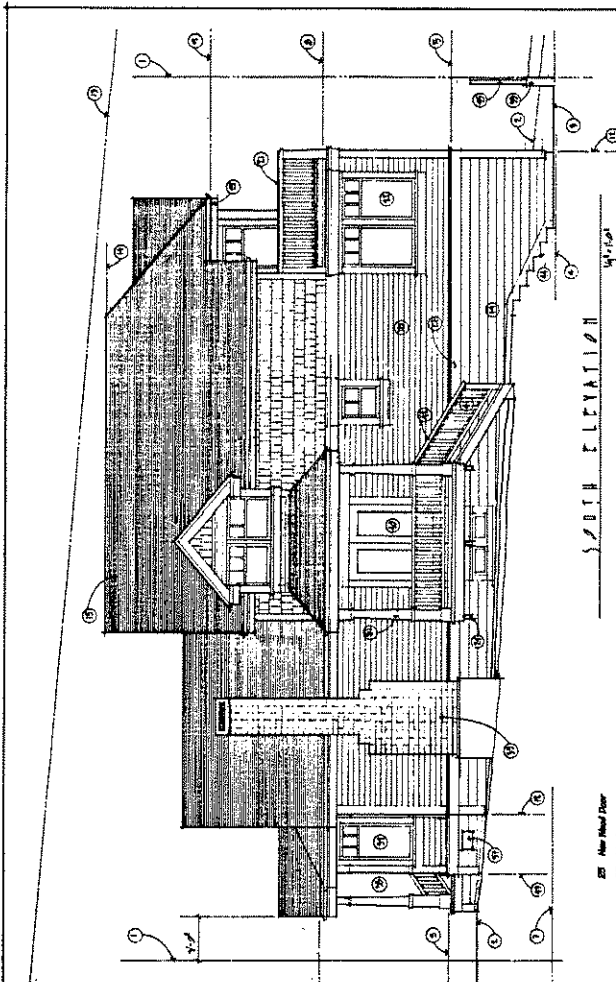


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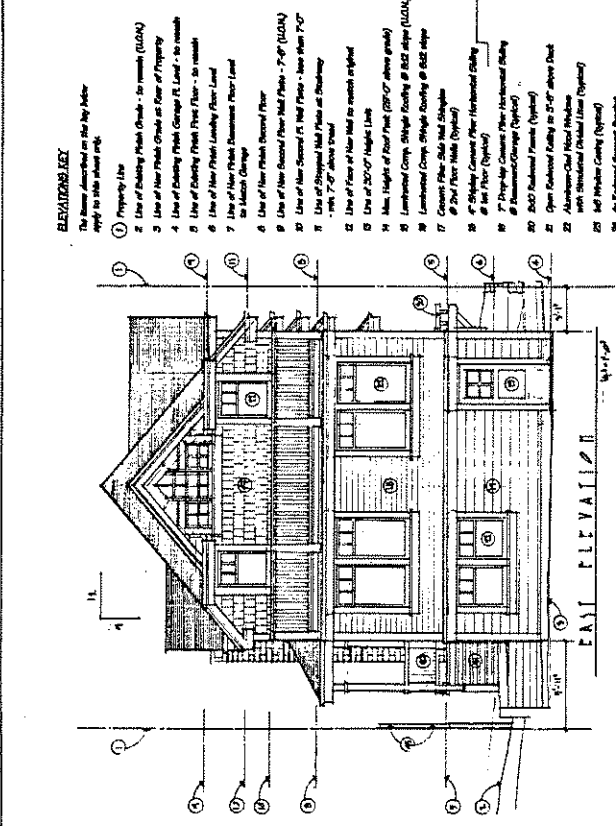
DATE
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 5-13-04
 2-11-07

ANDESI RESIDENCE
 NEW CONSTRUCTION FOR
 149 FIFTEENTH ST, PACIFIC GROVE, CA 93950

SHEET
 A-7
 EXTERIOR
 ELEVATIONS



SOUTH ELEVATION

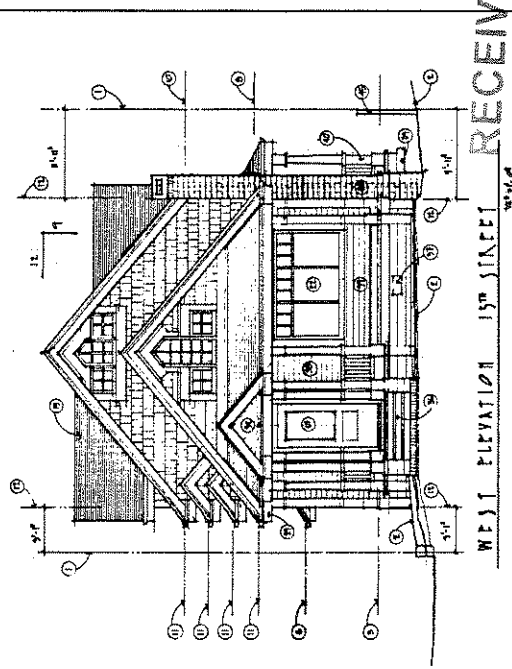


EAST ELEVATION

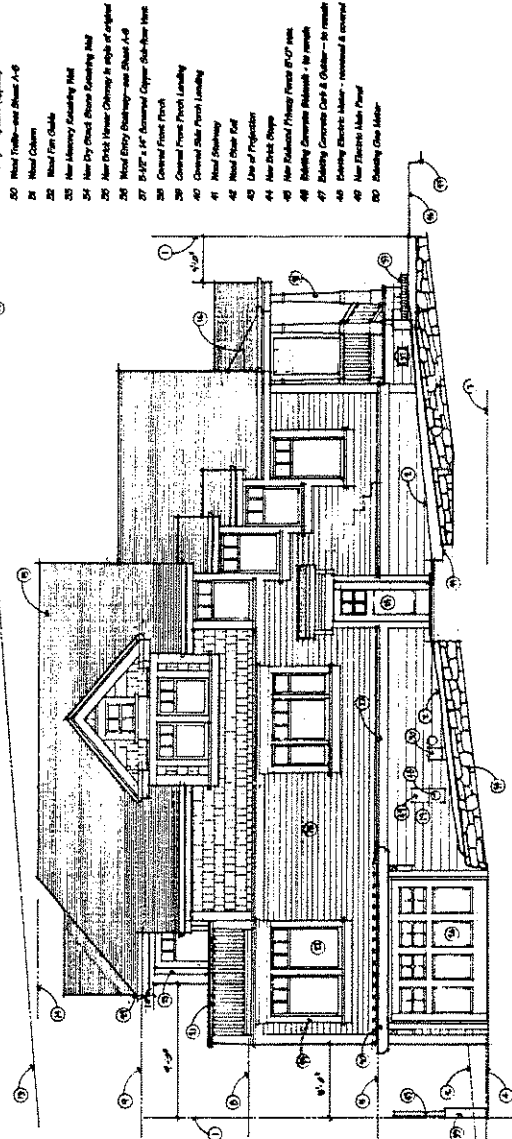
ELEVATIONS KEY

The items described on this key apply to the entire project.

- 1 Property Line
- 2 Line of Building Finish Grade - 10 inches (LUNA)
- 3 Line of New Finish Grade at Rear of Property
- 4 Line of Existing Finish Grade (L. Land - 10 inches)
- 5 Line of Existing Finish Floor - 10 inches
- 6 Line of New Finish Basement Floor Level
- 7 Line of New Finish Basement Floor Level
- 8 Line of New Finish Basement Floor Level
- 9 Line of New Basement Floor - 7'-0" (LUNA)
- 10 Line of New Second Fl. Wall Finish - New Slab F.O.P. with 7'-0" above grade
- 11 Line of Face of New Wall as exists on right
- 12 Line of 20'-0" High Line
- 13 Min. Height of Roof Peak (20'-0" above grade)
- 14 Unfinished Comp. Single Siding @ 8/12 slope (LUNA)
- 15 Unfinished Comp. Single Siding @ 8/12 slope
- 16 Concrete Floor-Slab Wall Siding
- 17 2nd Floor Wall (Optional)
- 18 4" Styrofoam Insulation (Horizontal Siding @ 1st Floor) (Optional)
- 19 7" Pre-preg Concrete Floor-Increased Siding @ Basement/Storage (Optional)
- 20 2x10 Rafters (Optional)
- 21 Open Rafters Siding @ 2'-0" above Deck with Structural Insulation (Optional)
- 22 Aluminum-Clad Wood Windows with Structural Insulation (Optional)
- 23 1/2" Plywood Ceiling (Optional)
- 24 4x4 Rafters (Optional)



WEST ELEVATION



NORTH ELEVATION

- 25 New Wood Floor
- 26 Wood Structural Overhead Garage Door
- 27 1/2" Ply-Board (Optional)
- 28 Copper Cladding
- 29 7" Pre-preg Concrete (Optional)
- 30 Wood Trim-see Sheet A-6
- 31 Wood Columns
- 32 Wood Fin. Chalk
- 33 New Masonry Cladding (Optional)
- 34 New Dry-Stack Stone Siding (Optional)
- 35 Wood Siding (Optional)
- 36 Wood Siding (Optional)
- 37 5'-0" x 1'-0" Rafters (Optional)
- 38 Concrete Floor Finish
- 39 Concrete Floor Finish
- 40 Concrete Floor Finish
- 41 Wood Siding
- 42 Wood Siding
- 43 Line of Projection
- 44 New Brick Siding
- 45 New Rafters (Optional)
- 46 Rafters (Optional)
- 47 Existing Concrete Deck & Columns - to remain
- 48 Existing Concrete Siding - to remain & extend
- 49 New Plywood Siding
- 50 Existing One Meter

RECEIVED
 15th STREET
 APR 2 2010

COMMUNITY DEV. DEPT.

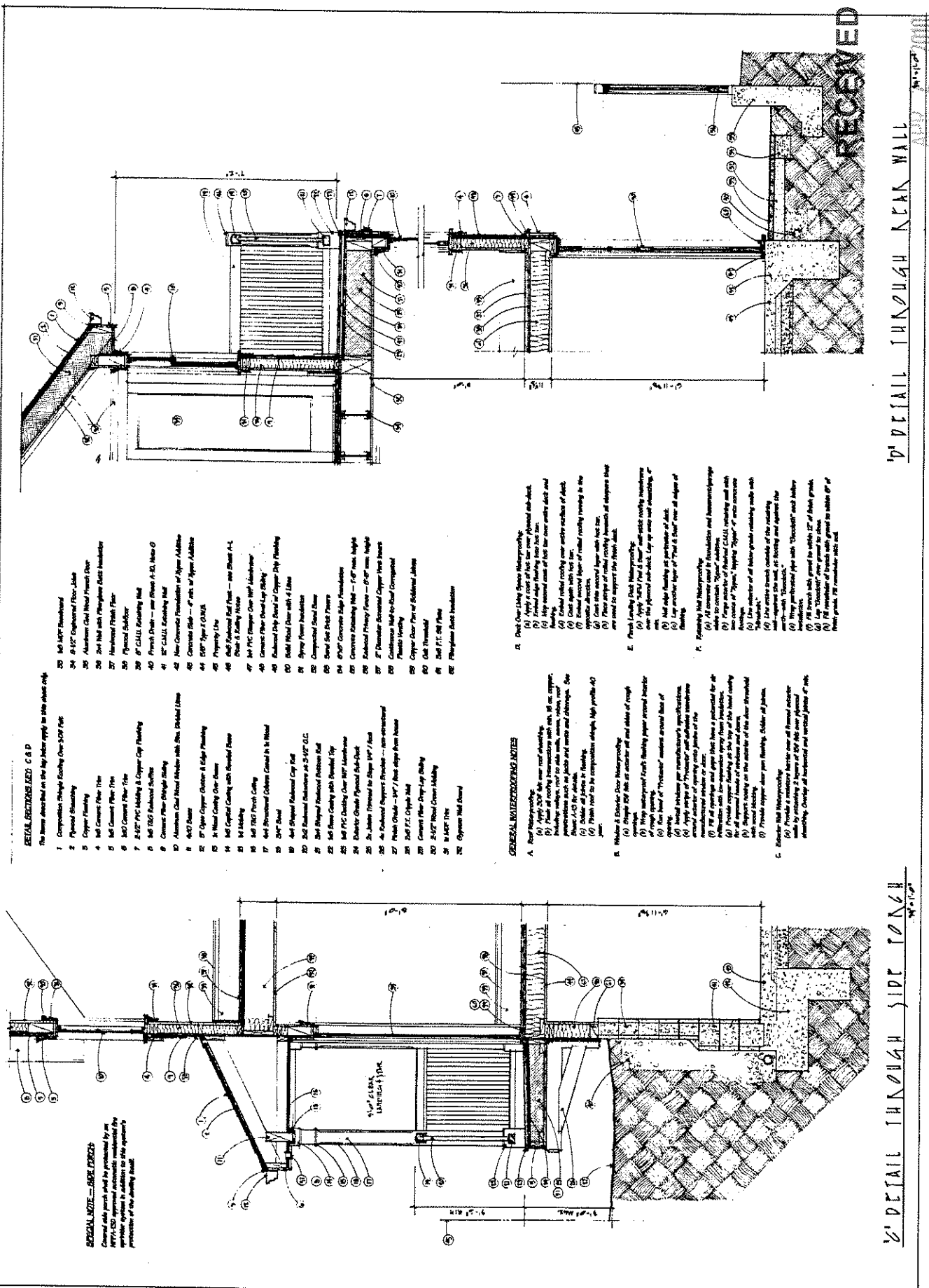


JEFFREY BECOM DESIGN
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 TEL 831.373.0116 jeffreymbecom@redshift.com

DATE
 5-17-09

NEW CONSTRUCTION FOR
 RANDESI RESIDENCE
 1519 19TH ST, PACIFIC GROVE, CA 93950

SHEET
 A-10
 DETAIL
 SECTIONS



DETAIL REVISIONS CARD

The items described on this log shall apply to this sheet only.

1. Composite Sloped Ceiling Over SLOPE Pile
2. Plywood Sheathing
3. Copper Flashing
4. 1/2" Concrete Floor Slab
5. 1/2" Concrete Floor Slab
6. 1/2" Concrete Floor Slab
7. 2-1/2" PVC Siding & Copper City Flashing
8. 1/2" RIG Reinforced Surface
9. Concrete Floor Slab
10. Aluminum Clad Wood Siding with She. Double Lines
11. 1/2" Copper Clad Siding
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100. 1/2" Copper Clad Siding

GENERAL WATERPROOFING NOTES

- A. Roof Waterproofing:
 - (1) Apply 20 mil self-adhesive waterproofing membrane to substrate.
 - (2) Apply 20 mil self-adhesive waterproofing membrane to substrate.
 - (3) Apply 20 mil self-adhesive waterproofing membrane to substrate.
 - (4) Apply 20 mil self-adhesive waterproofing membrane to substrate.
 - (5) Apply 20 mil self-adhesive waterproofing membrane to substrate.
 - (6) Apply 20 mil self-adhesive waterproofing membrane to substrate.
 - (7) Apply 20 mil self-adhesive waterproofing membrane to substrate.
 - (8) Apply 20 mil self-adhesive waterproofing membrane to substrate.
 - (9) Apply 20 mil self-adhesive waterproofing membrane to substrate.
 - (10) Apply 20 mil self-adhesive waterproofing membrane to substrate.
- B. Window & Exterior Door Waterproofing:
 - (1) Apply 20 mil self-adhesive waterproofing membrane to substrate.
 - (2) Apply 20 mil self-adhesive waterproofing membrane to substrate.
 - (3) Apply 20 mil self-adhesive waterproofing membrane to substrate.
 - (4) Apply 20 mil self-adhesive waterproofing membrane to substrate.
 - (5) Apply 20 mil self-adhesive waterproofing membrane to substrate.
 - (6) Apply 20 mil self-adhesive waterproofing membrane to substrate.
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 - (8) Apply 20 mil self-adhesive waterproofing membrane to substrate.
 - (9) Apply 20 mil self-adhesive waterproofing membrane to substrate.
 - (10) Apply 20 mil self-adhesive waterproofing membrane to substrate.
- C. Exterior Wall Waterproofing:
 - (1) Apply 20 mil self-adhesive waterproofing membrane to substrate.
 - (2) Apply 20 mil self-adhesive waterproofing membrane to substrate.
 - (3) Apply 20 mil self-adhesive waterproofing membrane to substrate.
 - (4) Apply 20 mil self-adhesive waterproofing membrane to substrate.
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 - (9) Apply 20 mil self-adhesive waterproofing membrane to substrate.
 - (10) Apply 20 mil self-adhesive waterproofing membrane to substrate.
- D. Flashing Details:
 - (1) Apply 20 mil self-adhesive waterproofing membrane to substrate.
 - (2) Apply 20 mil self-adhesive waterproofing membrane to substrate.
 - (3) Apply 20 mil self-adhesive waterproofing membrane to substrate.
 - (4) Apply 20 mil self-adhesive waterproofing membrane to substrate.
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 - (10) Apply 20 mil self-adhesive waterproofing membrane to substrate.
- E. Flashing Details:
 - (1) Apply 20 mil self-adhesive waterproofing membrane to substrate.
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- F. Flashing Details:
 - (1) Apply 20 mil self-adhesive waterproofing membrane to substrate.
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 - (8) Apply 20 mil self-adhesive waterproofing membrane to substrate.
 - (9) Apply 20 mil self-adhesive waterproofing membrane to substrate.
 - (10) Apply 20 mil self-adhesive waterproofing membrane to substrate.

6' DETAIL THROUGH PEAK WALL

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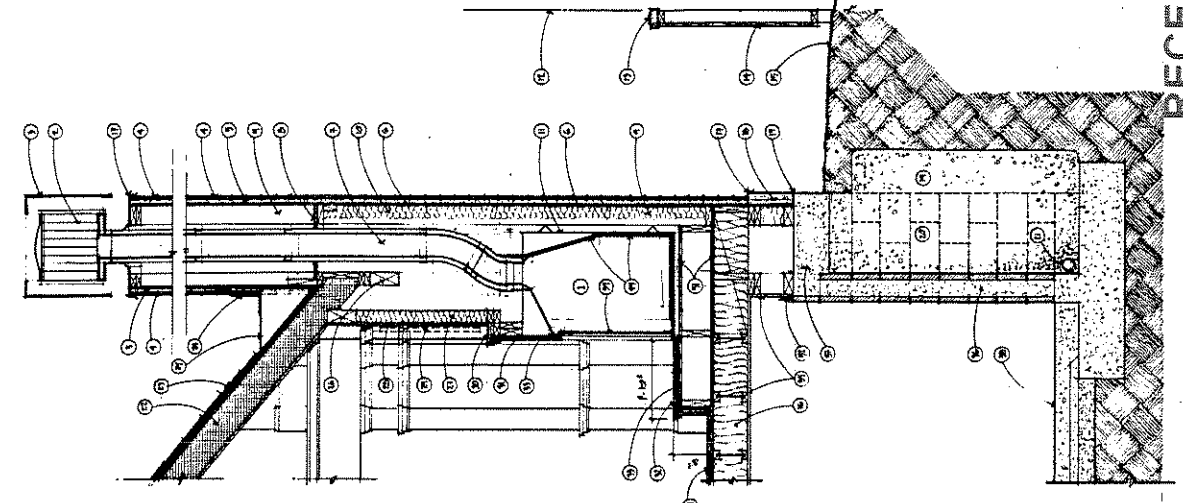
JEFFREY BECOM DESIGN
 115 14TH ST, PACIFIC GROVE, CA 93950
 TEL 831.373.0116 jeffreybecom@redhifi.com

DATE
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NEW CONSTRUCTION FOR
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 RANDESI RESIDENCE

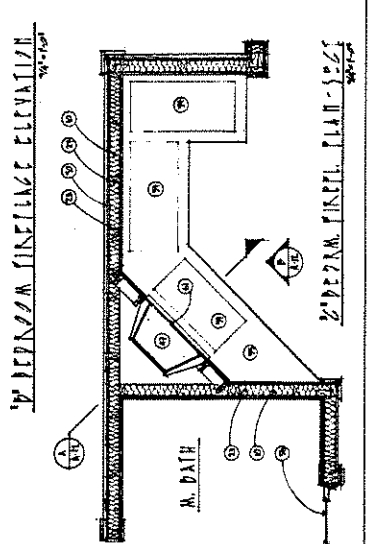
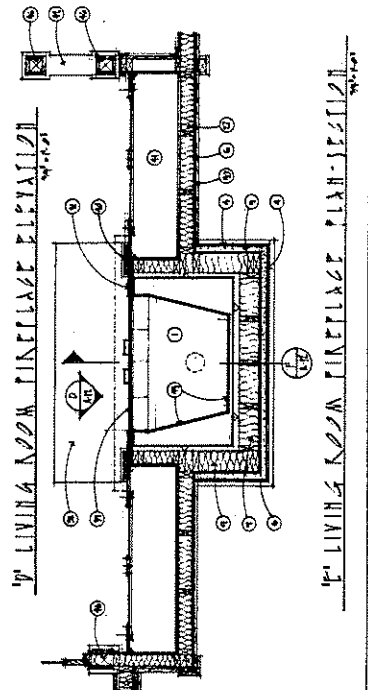
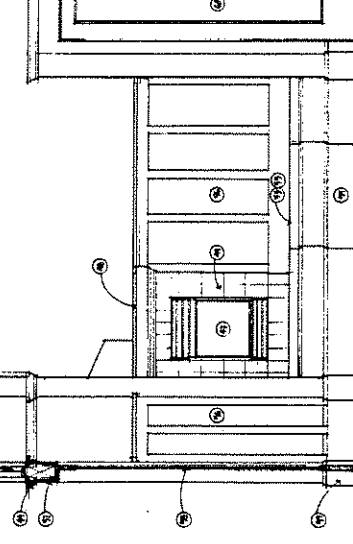
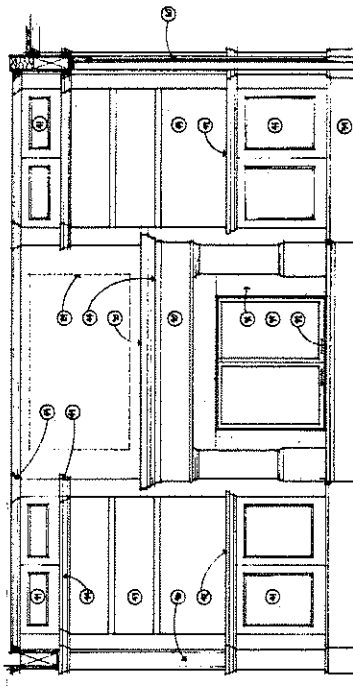
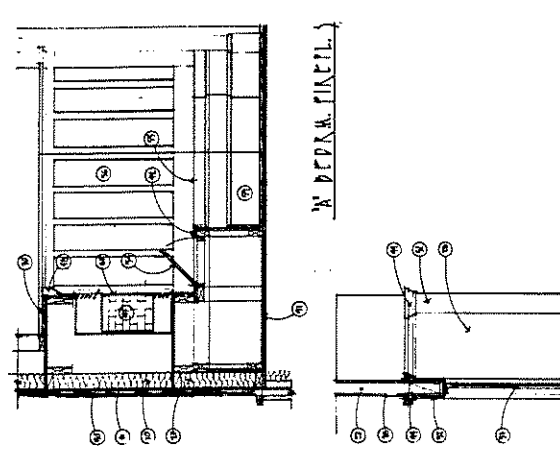
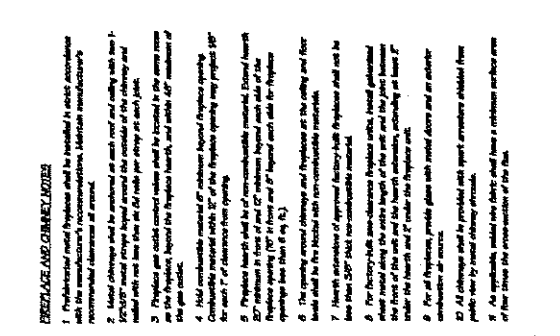
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 A-12
 FIREPLACE DETAILS

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 COMMUNITY CITY DEPT.



- FIREPLACE DETAILS KEY**
1. Zero-Chlorine, Chlor-Free, Military Grade Fiberglass Reinforced Polymer System
 2. Observed Lateral Flow Control - Observed Lateral Flow Control
 3. 5/8" High-Base Steel Plate
 4. Copper Cladding Sheet
 5. Slope of Original Masonry
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- FIREPLACE AND CHIMNEY NOTES**
1. Fireplaces shall be installed in each accordance with the manufacturer's instructions. Verify manufacturer's recommended clearance at install.
 2. Metal chimney shall be installed on each end and ceiling with 1" x 1/2" metal straps spaced around the outside of the chimney and metal shall not be less than 1/4" thick per strap on each joint.
 3. Fireplaces gas outlet control valves shall be located in the area above the fireplace, behind the fireplace hearth, and within 60" maximum of the gas inlet.
 4. 1/4" combustible material 6" minimum height fireplace opening. Considerable material depth 12" of the fireplace opening may project 18" for each 1" of clearance from opening.
 5. Fireplace hearth shall be of non-combustible material. Extend hearth 18" minimum beyond the fireplace opening. 18" minimum depth for fireplace opening (18" in front of 6" height depth with for fireplace opening less than 18" sq. ft.).
 6. The opening around chimney and fireplace at the ceiling and floor shall be fire blocked with non-combustible materials.
 7. Heavy masonry of approved factory-built fireplace shall not be less than 5/8" thick non-combustible material.
 8. For factory-built non-combustible fireplaces which have a metal chimney, metal shall extend the entire height of the wall and the full length of the front of the wall and the hearth extension, extending at least 2" under the hearth and 2" under the fireplace unit.
 9. For all fireplaces, provide glass with metal doors and an exterior non-combustible air intake.
 10. All chimneys shall be provided with spark arresters installed from public view by metal chimney aprons.
 11. All appliances, metal into electric and shall have a minimum setback area of four times the penetration of the flue.



12' LIVING ROOM FIREPLACE SECTION
 APR 7 2008

12' LIVING ROOM FIREPLACE PLAN SECTION
 APR 7 2008

12' BEDRM FIREPLACE PLAN SECTION
 APR 7 2008

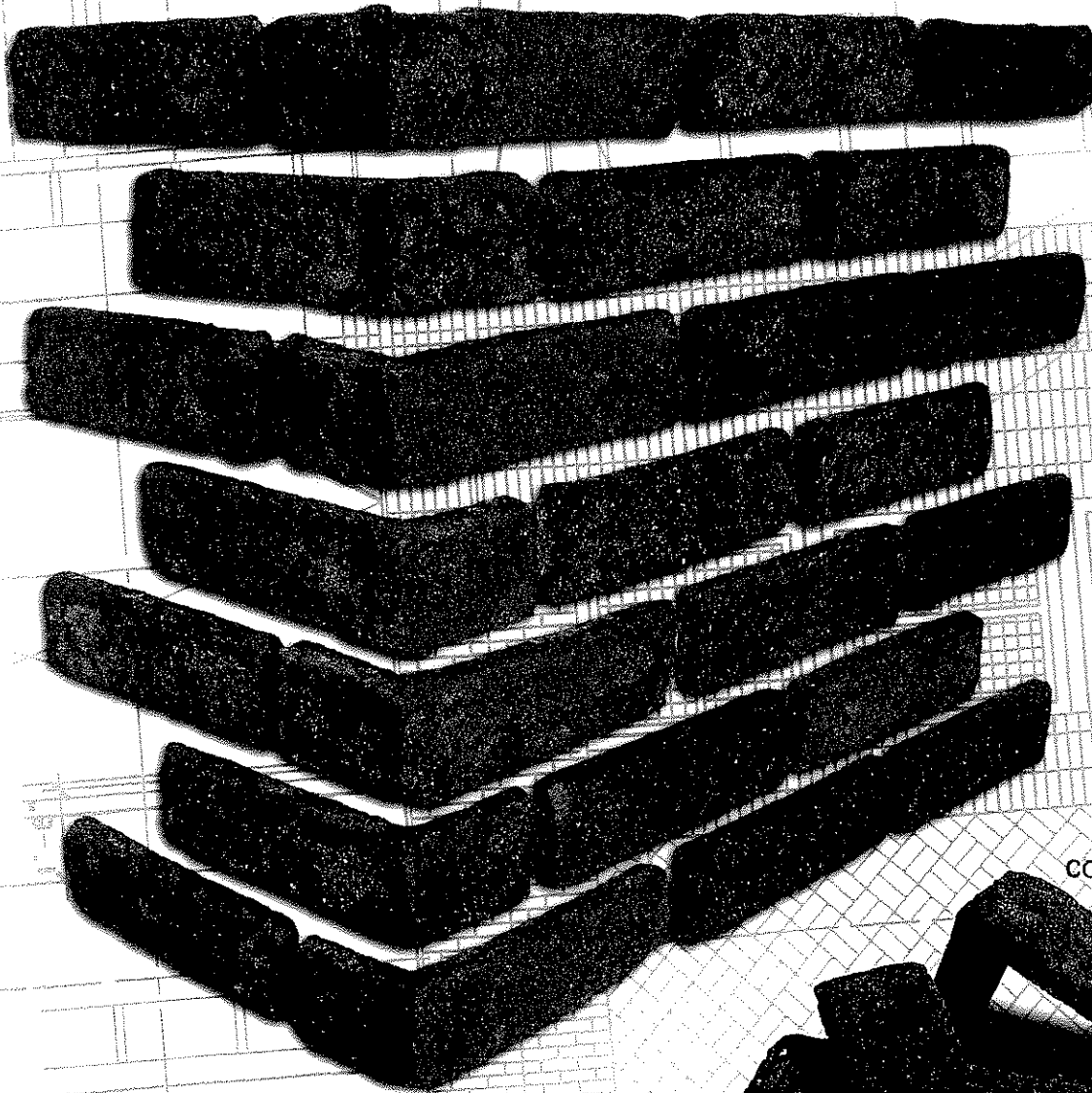


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Manufacturers Since 1868

Thin Brick

Beauty That's Skin Deep



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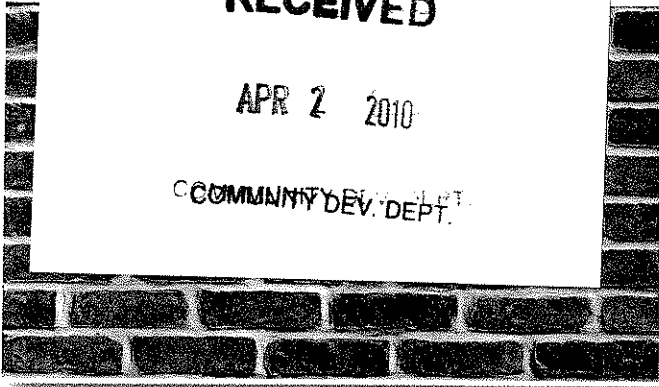
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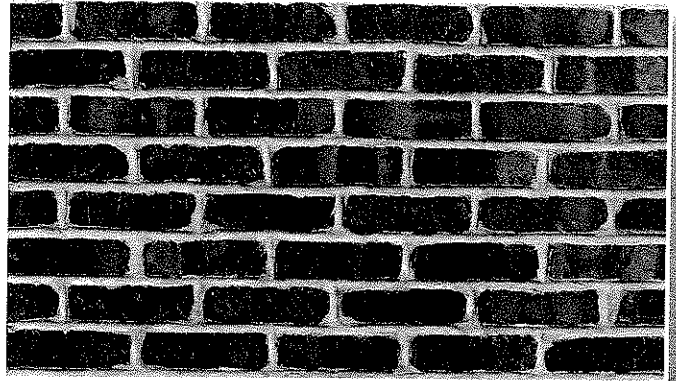
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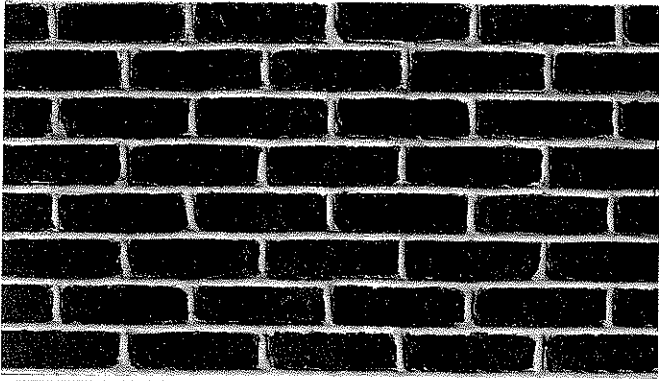
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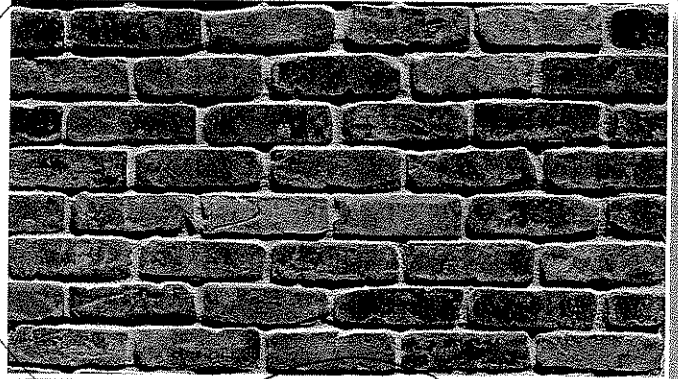
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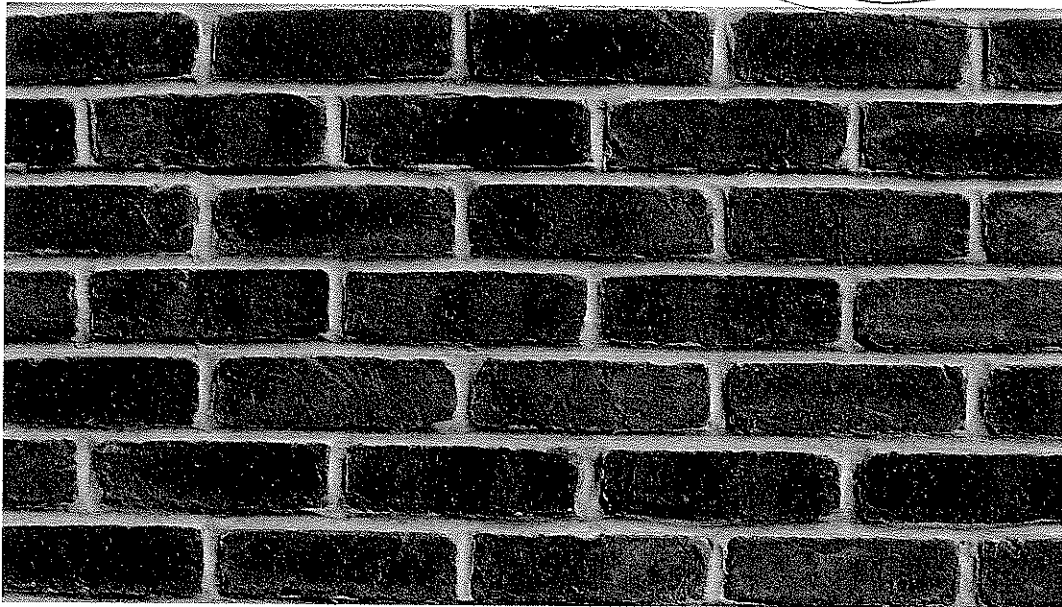
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